



# AZ5\_CURIEL-SCHOOL\_2\_SC

605 N. SANTA CRUZ AVE  
 ELOY, AZ 85131  
 PINAL COUNTY  
 APN # 411-05-0380

Two working days before you dig.  
 CALL FOR THE BLUE STAKE!

1 (602) 263-1100 or  
 1 (800) STAKE-IT (782-5348)  
 (OUTSIDE MARICOPA COUNTY)



SITE PHOTO

CLIENT:  
**verizon**  
 126 WEST GEMINI DRIVE  
 TEMPE, ARIZONA 85293  
 PHONE: 480.752.7238

DESIGN MANAGEMENT PROFESSIONAL:  
**SD SiinoDesign**  
 16747 EAST PARKVIEW AVE., SUITE #1  
 FOUNTAIN HILLS, ARIZONA 85268  
 PHONE: 480.836.1701  
 FAX: 480.836.1004  
 WWW.SIINODESIGN.COM

ENGINEERING CONSULTANT SEAL:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JNGO  
 CHECKED BY: CMS

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
2	11/09/17	COMMENTS	CMS
1	09/13/17	COMMENTS	CMS
0	08/20/17	REVIEW	CMS

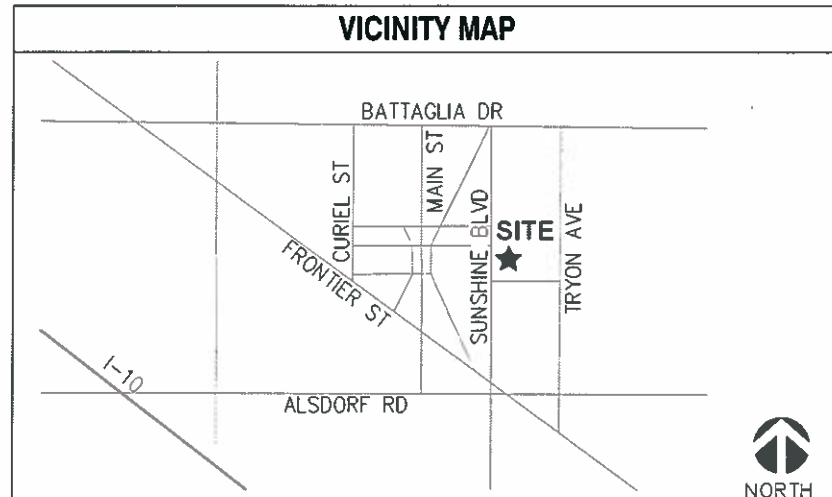
SITE NAME:  
**AZ5\_CURIEL-SCHOOL\_2\_SC**

SITE ADDRESS:  
 605 N. SANTA CRUZ AVE  
 ELOY, AZ 85131  
 PINAL COUNTY

JURISDICTION APPROVAL:

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**



**DRIVING DIRECTIONS**

SUMMARY:  
 FROM THE VERIZON OFFICES IN TEMPE TAKE I-10 E TOWARD TUCSON. MERGE ONTO I-10 E. TAKE EXIT 208 FOR SUNSHINE BLVD.. TAKE LEFT TURN ONTO S. SUNSHINE BLVD. TURN RIGHT ONTO E. 5TH ST. TURN LEFT AT THE 2ND CROSS STREET ONTO N. SANTA CRUZ AVE. TURN RIGHT ONTO E. 6TH ST. DESTINATION WILL BE ON THE LEFT SIDE OF THE ROAD.

**GENERAL NOTES**

THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT AS SET FORTH IN THE CONSTRUCTION DRAWINGS, CONTRACT DOCUMENTS AND THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF THE CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK UNLESS OTHERWISE DIRECTED.

**SITE LOCATION INFORMATION**

SITE NAME: AZ5\_CURIEL-SCHOOL\_2\_SC  
 SITE ADDRESS: 605 N. SANTA CRUZ AVE  
 ELOY, AZ 85131

APN NUMBER: 411-05-0380

SITE COORDINATES: LATITUDE: 32° 45' 18.9" N (NAD 83)  
 LONGITUDE: 111° 32' 53.9" W (NAD 83)  
 ELEVATION: 1,553.6' (AMSL) (NAVD 88)

USE CODE: 9270 (RELIGIOUS)

APPLICANT: VERIZON WIRELESS  
 126 WEST GEMINI DR.  
 TEMPE, AZ 85283  
 CONTACT: DAN LIVINGSTON  
 PHONE: (253) 255-6038

PROPERTY OWNER: FIRST METHODIST CHURCH OF ELOY  
 605 N. SANTA CRUZ AVE  
 ELOY, AZ 85131

OWNER CONTACT: RUS KETCHUM  
 (520) 466-3445

**CODE COMPLIANCE**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2012 INTERNATIONAL BUILDING CODE (IBC)  
 2011 NATIONAL ELECTRICAL CODE (NEC)  
 ANSI/EIA-222-G STRUCTURAL STEEL STANDARDS FOR STEEL ANTENNA TOWERS AND SUPPORTING STRUCTURES STANDARD LOCAL BUILDING CODE(S)  
 CITY AND/OR COUNTY ORDINANCES

**JURISDICTION: CITY OF ELOY, PINAL COUNTY**

**PROJECT TEAM**

CLIENT: VERIZON WIRELESS  
 126 WEST GEMINI DRIVE  
 TEMPE, ARIZONA 85283

CONSTRUCTION MANAGER: DAN LIVINGSTON  
 MOBILE: (253) 255-6038

RF ENGINEER: SYED NAQVI

REAL ESTATE: MICHAEL ZAIMES  
 MOBILE: (480) 752-7216

REAL ESTATE CONSULTANT: SMARTLINK  
 CONTACT: MARCK SAWYER  
 PHONE: (480) 550-2088  
 MARCK.SAWYER@SMARTLINKLLC.COM

A&E DESIGN MANAGEMENT PROFESSIONAL: SIINO DESIGN  
 16747 EAST PARKVIEW AVE., SUITE #1  
 FOUNTAIN HILLS, ARIZONA 85268  
 CONTACT: CHRIS M. SIINO, MBA, MSTL, PMP  
 MOBILE: (602) 672-4311  
 FAX: (480) 836-1004

CIVIL ENGINEERING CONSULTANT: PNP ENGINEERING INC  
 CONTACT: YONG-JOONG KANG, PE  
 MOBILE: (949) 351-5020

EE CONSULTANT: JOYNGO, LLC  
 CONTACT: TIM ALEXANDER, PE  
 MOBILE: (602) 403-8368

**PROJECT INFORMATION**

OCCUPANCY GROUP: U (LIGHT POLE) & S-2 (CABINET)  
 TYPE OF CONSTRUCTION: V-B  
 LEASE AREA: 78.5 SQ. FT.

**ACCESSIBILITY DISCLAIMER**

THE PROPOSED PROJECT IS AN UNOCCUPIED TELECOMMUNICATIONS FACILITY AND IS NOT TO BE ACCESSED BY THE GENERAL PUBLIC. THIS FACILITY IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS PER IBC 1103.2.9 LISTED AS AN EQUIPMENT SPACE.

**SHEET INDEX**

SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
LS-1	SITE SURVEY
LS-2	TITLE AND LEGALS
A-1	OVERALL SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	ELEVATIONS

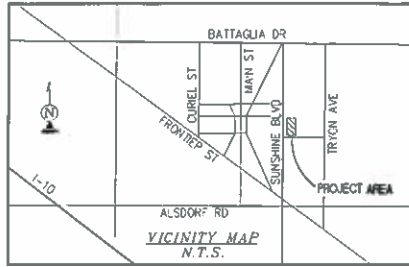
**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF THE INSTALLATION OF NEW REPLACEMENT UTILITY POLE WITH (2) NEW ANTENNAS & (1) TEMPORARY MW DISH. (1) NEW EQUIPMENT CABINET WITHIN 3-SIDED WALL ENCLOSURE.

THIS PROJECT DOES NOT INCLUDE WATER OR SEWER.

THIS PROJECT INCLUDES PERMANENT TELEPHONE AND ELECTRICAL CONNECTIONS.

DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT WILL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.



**SURVEY DATE**  
07/20/2017

**SURVEYOR'S NOTES**

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

**BASIS OF BEARING**

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

**BENCHMARK**

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE "SMARTNET" REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD83.

**FLOOD ZONE**

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X" ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #04021C1595E, DATED 12/04/2007.

**UTILITY NOTES**

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**LESSOR'S LEGAL DESCRIPTION**

LOT 1, 2, 3, 4, 5, 6, 23 AND 24, BLOCK 8, ELOY TOWNSITE, ACCORDING TO BOOK 5 OF MAPS, PAGE 14, RECORDS OF MARICOPA COUNTY, ARIZONA.

**LEASE AREA LEGAL DESCRIPTION**

BEING A PORTION OF LOT 1, 2, 3, 4, 5, 6, 23 AND 24, BLOCK 8, ELOY TOWNSITE, ACCORDING TO BOOK 5 OF MAPS, PAGE 14, RECORDS OF MARICOPA COUNTY, ARIZONA; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND RAILROAD SPIKE NEAR THE INTERSECTION OF SANTA CRUZ AVENUE (80' WIDE) AND PHOENIX AVENUE (40' HALF-WIDTH) HAVING ARIZONA STATE PLANE CENTRAL ZONE COORDINATES OF NORTHING 638,842.72 AND EASTING 812,988.78 AND FROM WHENCE A FOUND REBAR NEAR THE INTERSECTION OF SAID PHOENIX AVENUE AND SUNSHINE BOULEVARD (60' HALF-WIDTH) BEARS SOUTH 89°42'03" WEST AT A DISTANCE OF 428.54 FEET, SAID REBAR HAVING COORDINATES OF NORTHING 638,840.48 AND EASTING 812,560.24; THENCE SOUTH 58°12'01" EAST, 297.34 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°59'46" EAST, 15.00 FEET; THENCE SOUTH 00°00'14" EAST, 5.20 FEET; THENCE SOUTH 89°59'46" WEST, 15.00 FEET; THENCE NORTH 00°00'14" WEST, 5.20 FEET RETURNING TO THE POINT OF BEGINNING.

CONTAINING 78 SQUARE FEET (0.002 ACRES) OF LAND, MORE OR LESS.

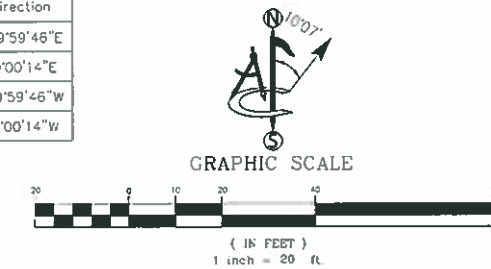
**SCHEDULE "B" NOTE**

REFERENCE IS MADE TO THE TITLE REPORT COMMITMENT #21701998, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, EFFECTIVE DATE OF AUGUST 7, 2017. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

**ITEMIZED NOTES:**

- 2017 TAXES (NOT SURVEY RELATED, NOTHING TO SHOW)
- EASEMENTS, RESTRICTIONS, RESERVATIONS, ETC. AS SET FORTH ON THE PLAT RECORDED IN BOOK 5 OF MAPS, PAGE 14 (SHOWN AS PARENT PARCEL AND RIGHT OF WAYS)
- ALLEY EASEMENT RECORDED IN DOCKET 426, PAGE 494 (SHOWN AND NOTED ON SURVEY)
- COVENANTS, CONDITIONS, RESTRICTIONS, OF THE DOCUMENT RECORDED IN DOCKET 649, PAGE 974 AND AS SHOWN ON THE RECORDED PLAT OF SAID SUBDIVISION (NOT SURVEY RELATED, NOTHING TO SHOW)
- RESOLUTION NO. 77-R-80A RECORDED AS DOCKET 682, PAGE 566 (LIES WEST OF THIS SURVEY, NOTHING TO SHOW)
- QUIT CLAIM DEED RECORDED AS DOCKET 926, PAGE 328 (SHOWN AND NOTED ON SURVEY)
- TRUST AGREEMENT AND PERPETUAL MORTGAGE RECORDED AS FEE NO. 2006-149407 (BLANKET OVER PARENT PARCEL, NOT PLOTTABLE)
- ANY RIGHTS, INTEREST OR CLAIMS OF PARTIES IN POSSESSION (NONE KNOWN, NOTHING TO SHOW)
- TERMS AND CONDITIONS OF THE LEASE SET FORTH IN SCHEDULE A, PART TWO. (NOT PLOTTABLE)

Line #	Length	Direction
L1	15.00	N89°59'46"E
L2	5.20	S0°00'14"E
L3	15.00	S89°59'46"W
L4	5.20	N0°00'14"W



LEGEND	
AP	ASPHALT
BLDG	TOP OF BUILDING
CONC	CONCRETE
D/W	ACCESS DRIVEWAY
FC	FACE OF CURB
LP	LIGHT POLE
NG	NATURAL GRADE
R/W	RIGHT OF WAY
TREES	TREES
⊗	FIRE HYDRANT
⊙	LIGHT POLE
⊕	POSITION OF GEODETIC COORDINATES
⊙	SPOT ELEVATION
⊗	WATER CONTROL VALVE
⊕	GAS VALVE
—○—○—○—	CHAIN LINK FENCE
—GAS—GAS—GAS—	GAS LINES
—E—E—E—E—	ELECTRIC LINES
—O/H—O/H—O/H—	OVERHEAD UTILITIES
—	STREET CENTER LINES
—	RIGHT OF WAY LINES
—	SUBJECT PROPERTY LINE
—	ADJACENT PROPERTY LINE
—	EASEMENT LINES
—	TIE LINES
—	LEASE AREA LIMITS
—	MAJOR CONTOUR INTERVAL
—	MINOR CONTOUR INTERVAL

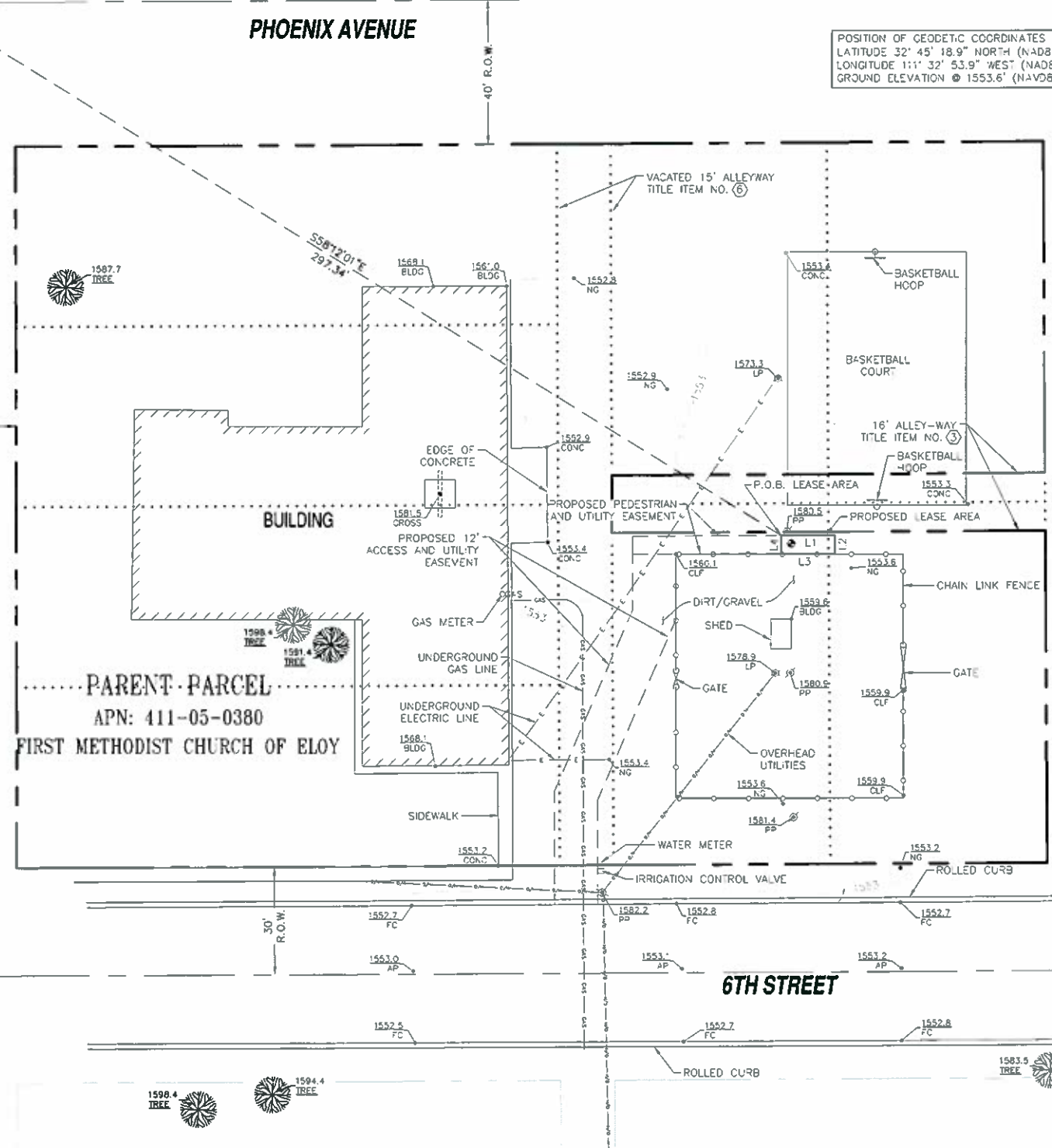
S89°42'03"W  
428.54'  
P.O.C.  
N=638,842.72  
E=812,988.78  
FD. REBAR  
N=638,840.48  
E=812,560.24

POSITION OF GEODETIC COORDINATES  
LATITUDE 32° 45' 18.9" NORTH (NAD83)  
LONGITUDE 111° 32' 53.9" WEST (NAD83)  
GROUND ELEVATION @ 1553.6' (NAVD88)

1597.6 TREE

APN: 411-05-039A

APN: 411-05-054



CLIENT:  
**verizon**  
126 WEST GEMINI DRIVE  
TEMPE, ARIZONA 85283  
PHONE: (480) 752-7238

DESIGN: MANAGEMENT PROFESSIONAL:  
**SD SiinoDesign**  
18616 EAST PALISADES BLVD, SUITE 102  
FOUNTAIN HILLS, ARIZONA 85268  
PHONE: (480) 836-1701  
FAX: (480) 836-1004  
www.sdilc.biz

SURVEYING CONSULTANT:  
**ambit consulting**  
410 E. SOUTHERN AVE. TEMPE, AZ 85262  
PH. (480) 659-4072

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: DRH  
CHECKED BY: MF

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
2	10/26/17	REVISE TITLE (C)	RC
1	08/16/17	DESIGN/TITLE (C)	SAB
0	07/29/17	PRELIM SUBMITTAL	DRH

SITE NAME:  
**AZ5\_CURIEL-SCHOOL\_2\_SC**

SITE ADDRESS:  
**605 N. SANTA CRUZ AVE  
ELOY, AZ 85131  
PINAL COUNTY**

SEAL:

**PRELIMINARY**

SHEET TITLE:  
**SITE SURVEY**

SHEET NUMBER:  
**LS-1**

**OVERALL SITE PLAN KEYED NOTES: #**

1. EXISTING CHURCH BUILDING
2. EXISTING SHED
3. EXISTING CHAIN LINK FENCE WITH GATES
4. APPROXIMATE LOCATION OF EXISTING U.G. ELECTRICAL LINE PER BLUE STAKE MARKING
5. APPROXIMATE LOCATION OF EXISTING U.G. GAS LINE PER BLUE STAKE MARKING
6. EXISTING GAS METER
7. EXISTING POWER POLE (TYP.)
8. EXISTING OVERHEAD ELECTRICAL LINE (TYP.)
9. EXISTING WATER METER
10. EXISTING IRRIGATION CONTROL VALVE
11. EXISTING CONCRETE SIDEWALK
12. EXISTING ROLLED CURB
13. EXISTING DIRT/GRAVEL PARKING LOT
14. EXISTING PARKING SPACE & NEW NON-EXCLUSIVE TECH PARKING SPACE
15. EXISTING CONCRETE BASKETBALL COURT
16. EXISTING LIGHT POLE (TYP.)
17. EXISTING TREE (TYP.)
18. EXISTING UTILITY EASEMENT. SEE SURVEY DRAWING FOR DETAIL
19. NEW LESSEE 12' WIDE ACCESS EASEMENT
20. EXISTING POWER POLE WITH TRANSFORMER & NEW POWER P.O.C. FINAL LOCATION TO BE DETERMINED BY PROVIDER
21. NEW LESSEE FIBER MEET POINT VAULT. FINAL LOCATION TO BE DETERMINED BY PROVIDER
22. NEW 4"Ø U.G. CONDUIT FOR FIBER RUN FROM MEET POINT VAULT TO NEW SITE VAULT. FINAL ROUTE TO BE DETERMINED BY PROVIDER
23. NEW 2-1/2"Ø U.G. CONDUIT FOR POWER RUN FROM EXISTING POWER POLE TO NEW METER ON CABINET. FINAL ROUTE TO BE DETERMINED BY PROVIDER

Two working days before you dig,  
CALL FOR THE BLUE STAKE!

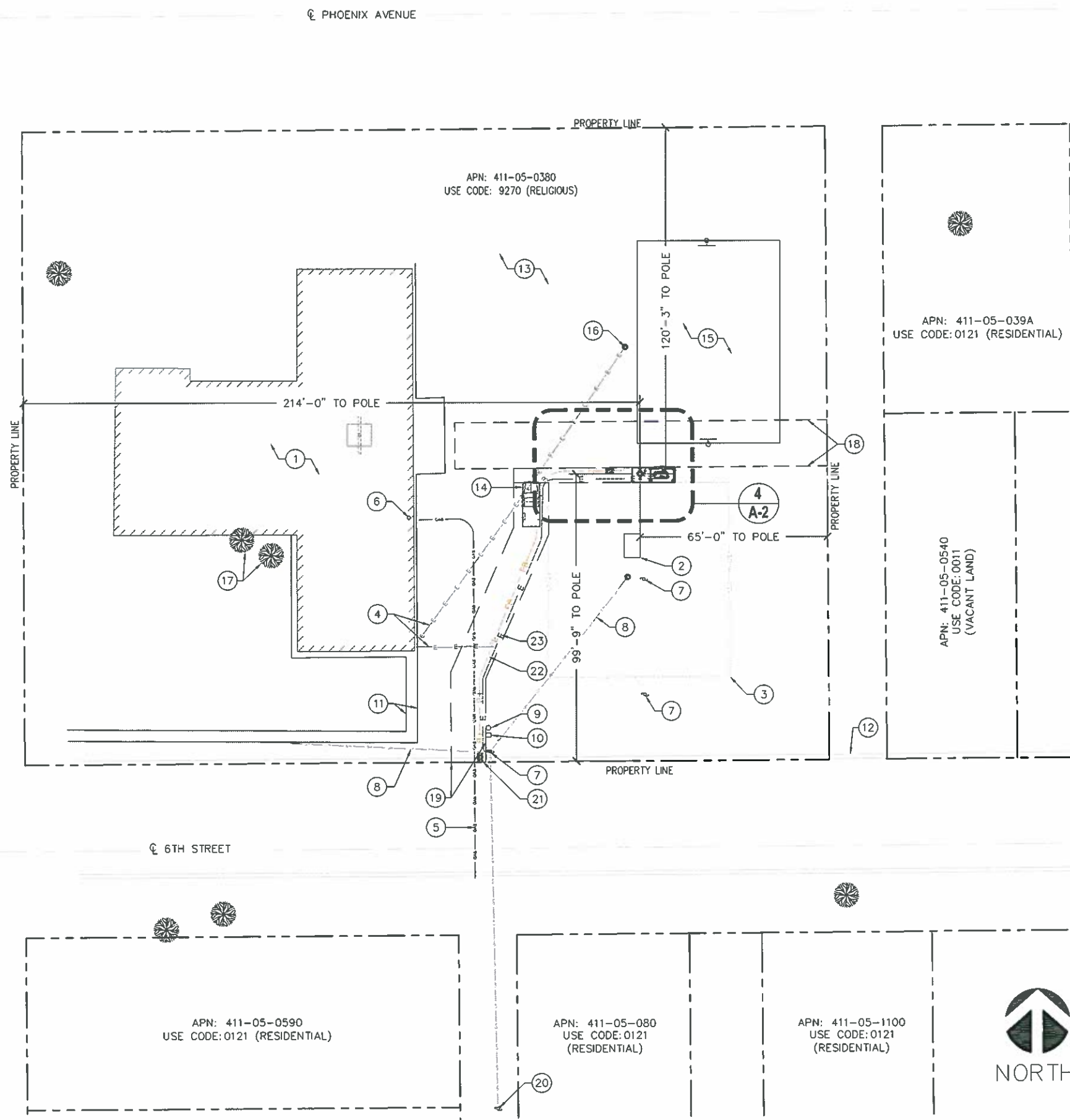
1 (602) 263-1100 or  
1 (800) STAKE-IT (782-5348)  
(OUTSIDE MARICOPA COUNTY)

**DESIGN CRITERIA REFERENCES FOR PARKING LIGHTING:**

1. ANY LIGHTS USED TO ILLUMINATE SAID PARKING PLACE SHALL BE SO ARRANGED AS TO REFLECT THE LIGHT AWAY FROM ADJOINING LOTS IN RESIDENTIAL DISTRICTS.

**LEGEND**

BLDG	TOP OF BUILDING	STREET LIGHT
CLF	CHAIN LINK FENCE	FIRE HYDRANT
CONC	CONCRETE	POWER POLE
D/W	ACCESS DRIVEWAY	POSITION OF GEODETIC COORDINATES
FC	FACE OF CURB	SPOT ELEVATION
NG	NATURAL GRADE	WATER CONTROL VALVE
R/W	RIGHT OF WAY	GROUND ROD
TREES		GROUND BUS BAR
NEW ANTENNA		MECHANICAL GRND. CONN.
EXISTING ANTENNA		CADWELD
REVISION		GROUND ACCESS WELL
CONSTRUCTION KEYED NOTE		ELECTRIC BOX
DETAIL REFERENCE		TELEPHONE BOX
ELEVATION REFERENCE		LIGHT POLE
SECTION REFERENCE	GRAVEL	
	GROUT OR PLASTER	PLYWOOD
	(E) BRICK	SAND
	(E) MASONRY	WOOD CONT.
	CONCRETE	WOOD BLOCKING
	EARTH	STEEL
	CHAIN LINK FENCE	
	CURLINES	
	WATER LINES	
	IRRIGATION LINES	
	SEWER LINES	
	GAS LINES	
	OVERHEAD LINES	
	ELECTRIC LINES	
	(E) FIBER OPTIC LINES	
	(N) FIBER OPTIC LINE	
	STREET CENTERLINES	
	RIGHT OF WAY LINES	
	LEASE AREA LIMITS	
	MAJOR CONTOUR INTERVAL	
	MINOR CONTOUR INTERVAL	



CLIENT:  
**verizon**  
126 WEST GEMINI DRIVE  
TEMPE, ARIZONA 85293  
PHONE: 480.752.7238

DESIGN MANAGEMENT PROFESSIONAL:  
**SD SiinoDesign**  
16747 EAST PARKVIEW AVE., SUITE #1  
FOUNTAIN HILLS, ARIZONA 85268  
PHONE: 480.836.1701  
FAX: 480.836.1004  
WWW.SIINODESIGN.COM

ENGINEERING CONSULTANT SEAL:  
  
  
  
DRAWING APPROVALS (SIGNATURES):  
  
  
  
SITE ACQUISITION/PROPERTY:  
  
CONSTRUCTION MANAGER:  
  
VERIZON WIRELESS RF ENGINEER:  
  
LANDLORD APPROVAL:  
  
DRAWN BY: JNGO  
CHECKED BY: CMS

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
2	11/09/17	COMMENTS	CMS
1	09/13/17	COMMENTS	CMS
0	08/20/17	REVIEW	CMS

SITE NAME:  
**AZ5\_CURIEL-SCHOOL\_2\_SC**

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PINAL COUNTY

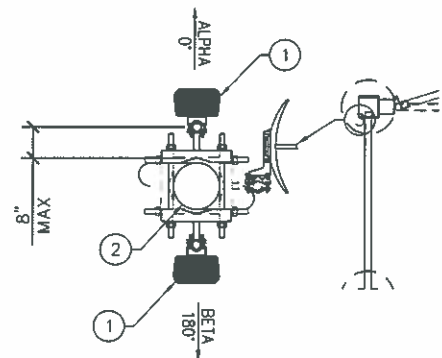
JURISDICTION APPROVAL:  
  
  
  
NORTH

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**A-1**

**ANTENNA PLAN KEYED NOTES: #**

1. NEW (1) ANTENNA PER SECTOR, TOTAL OF (2) SECTORS MOUNTED TO NEW POLE @ 25'-0" RAD CENTER.
2. NEW REPLACEMENT UTILITY POLE, SEE STRUCTURAL DRAWING BY OTHERS.
3. TEMPORARY 2'Ø MICROWAVE DISH @ 25'-0" RAD CENTER (AZIMUTH TO BE DETERMINED)

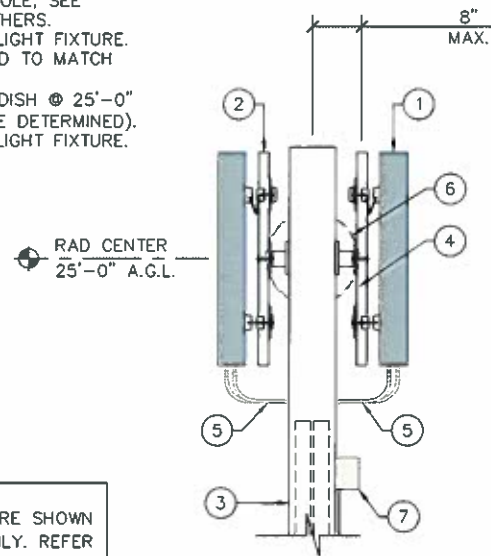


**LIGHT POLE AND ANTENNA LAYOUT**

N.T.S. 1

**ANTENNA SECTION KEYED NOTES: #**

1. NEW (2) ANTENNAS.
2. NEW PIPE AND SUPPORT KITS, SEE STRUCTURAL DRAWING BY OTHERS.
3. NEW REPLACEMENT UTILITY POLE, SEE STRUCTURAL DRAWING BY OTHERS.
4. NEW LOCATION OF EXISTING LIGHT FIXTURE.
5. NEW JUMPERS TO BE PAINTED TO MATCH EXISTING UTILITY POLE.
6. TEMPORARY 2'Ø MICROWAVE DISH @ 25'-0" RAD CENTER (AZIMUTH TO BE DETERMINED).
7. NEW LOCATION OF EXISTING LIGHT FIXTURE.



**NOTE:**  
THE POLE SECTION, LIGHT FIXTURE SHOWN HERE ARE FOR INFORMATION ONLY. REFER TO STRUCTURAL DRAWINGS BY OTHERS FOR POLE REPLACEMENT DETAILS

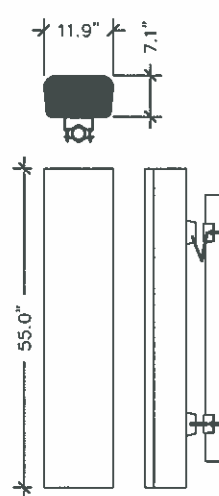
**ANTENNA SECTION DETAIL**

N.T.S. 2

**NOTE:**  
CONTRACTOR TO VERIFY FOR FINAL RF DATA SHEETS WITH CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION.

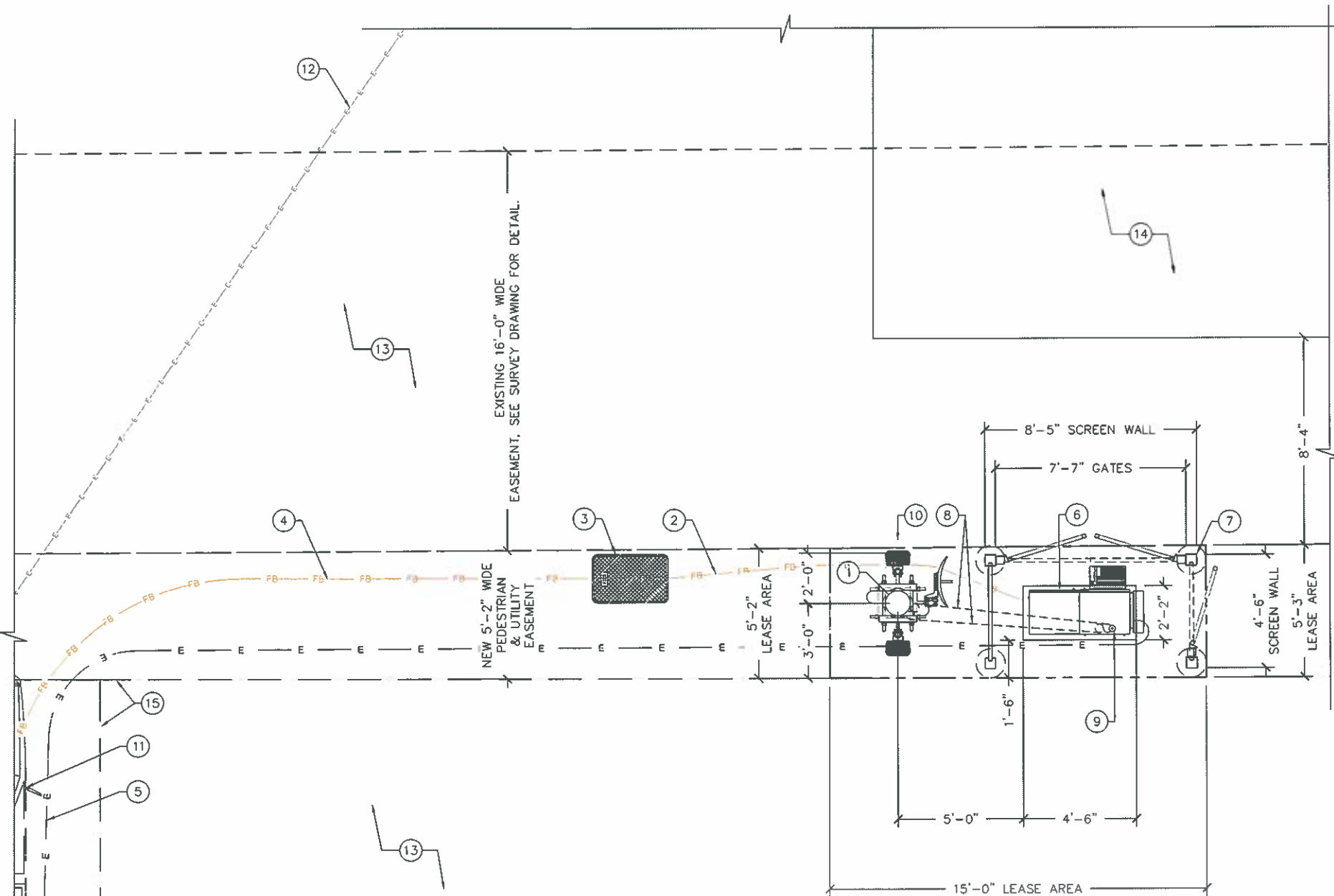
NEW ANTENNA & COAXIAL CABLE TABLE

SECTOR	AZIMUTH	Q (FT)	# OF LINE	SIZE	LENGTH (FT)	COAX TYPE
ALPHA	0°	25'-0"	4	1/2"	±60'	LDF4-50A
BETA	180°	25'-0"	4	1/2"	±60'	LDF4-50A



**ENLARGED SITE PLAN KEYED NOTES: #**

1. NEW 27.4' TALL REPLACEMENT UTILITY POLE TO MATCH EXISTING POLE, SEE STRUCTURAL DRAWING BY OTHERS.
2. NEW 4"Ø U.G. CONDUIT FOR FIBER RUN FROM SITE VAULT TO NEW CABINET.
3. NEW TRAFFIC RATED FIBER SITE VAULT. FINAL LOCATION TO BE DETERMINED BY PROVIDER.
4. NEW 4"Ø U.G. CONDUIT FOR FIBER RUN FROM MEET POINT VAULT TO SITE VAULT, SEE DETAIL 3 ON SHEET A-4. FINAL LOCATION TO BE DETERMINED BY PROVIDER.
5. NEW 2-1/2"Ø U.G. CONDUIT FROM EXISTING UTILITY POLE TO NEW METER ON CABINET, SEE DETAILS 3 ON SHEET A-4.
6. NEW EQUIPMENT CABINET (CHARLES CUBE) MOUNTED ON NEW CONCRETE PAD, SEE DETAIL 2 ON SHEET A-4.
7. NEW 3-SIDED WALL ENCLOSURE WITH GATES, COLOR TO MATCH EXISTING CHURCH BUILDING.
8. NEW (2) 4"Ø U.G. CONDUITS FOR COAXIAL CABLE RUN FROM NEW REPLACEMENT UTILITY POLE TO NEW CABINET.
9. NEW GPS ANTENNA MOUNTED ON TOP OF NEW CABINET.
10. EXISTING UTILITY POLE, LIGHT FIXTURE & ITS FOUNDATION TO BE REPLACED AND PROPERLY DISPOSED.
11. EXISTING PARKING SPACE & NEW NON-EXCLUSIVE TECH PARKING.
12. EXISTING U.G. ELECTRIC LINE PER BLUE STAKE MARKING.
13. EXISTING DIRT/GRAVEL DRIVE WAY.
14. EXISTING CONCRETE BASKETBALL COURT.
15. EXISTING CHAIN LINK FENCE WITH GATES.



**ANTENNA & COAXIAL CABLE SPECS.**

N.T.S. 3

**ENLARGED SITE PLAN**

22"x34" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"



N.T.S. 4

CLIENT:  
**verizon**  
126 WEST GEMINI DRIVE  
TEMPE, ARIZONA 85293  
PHONE: 480.752.7238

DESIGN MANAGEMENT PROFESSIONAL:  
**SD SiinoDesign**  
16747 EAST PARKVIEW AVE., SUITE #1  
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PHONE: 480.836.1701  
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ENGINEERING CONSULTANT SEAL:

**DRAWING APPROVALS (SIGNATURES)**

SITE ACQUISITION/PROPERTY  
CONSTRUCTION MANAGER  
VERIZON WIRELESS RF ENGINEER  
LANDLORD APPROVAL

DRAWN BY: JNGO  
CHECKED BY: CMS

**SCHEDULE OF REVISIONS**

NO	DATE	DESCRIPTION	BY
2	11/09/17	COMMENTS	CMS
1	09/13/17	COMMENTS	CMS
0	08/20/17	REVIEW	CMS

SITE NAME:  
**AZ5\_CURIEL-SCHOOL\_2\_SC**

SITE ADDRESS:  
605 N. SANTA CRUZ AVE  
ELOY, AZ 85131  
PINAL COUNTY

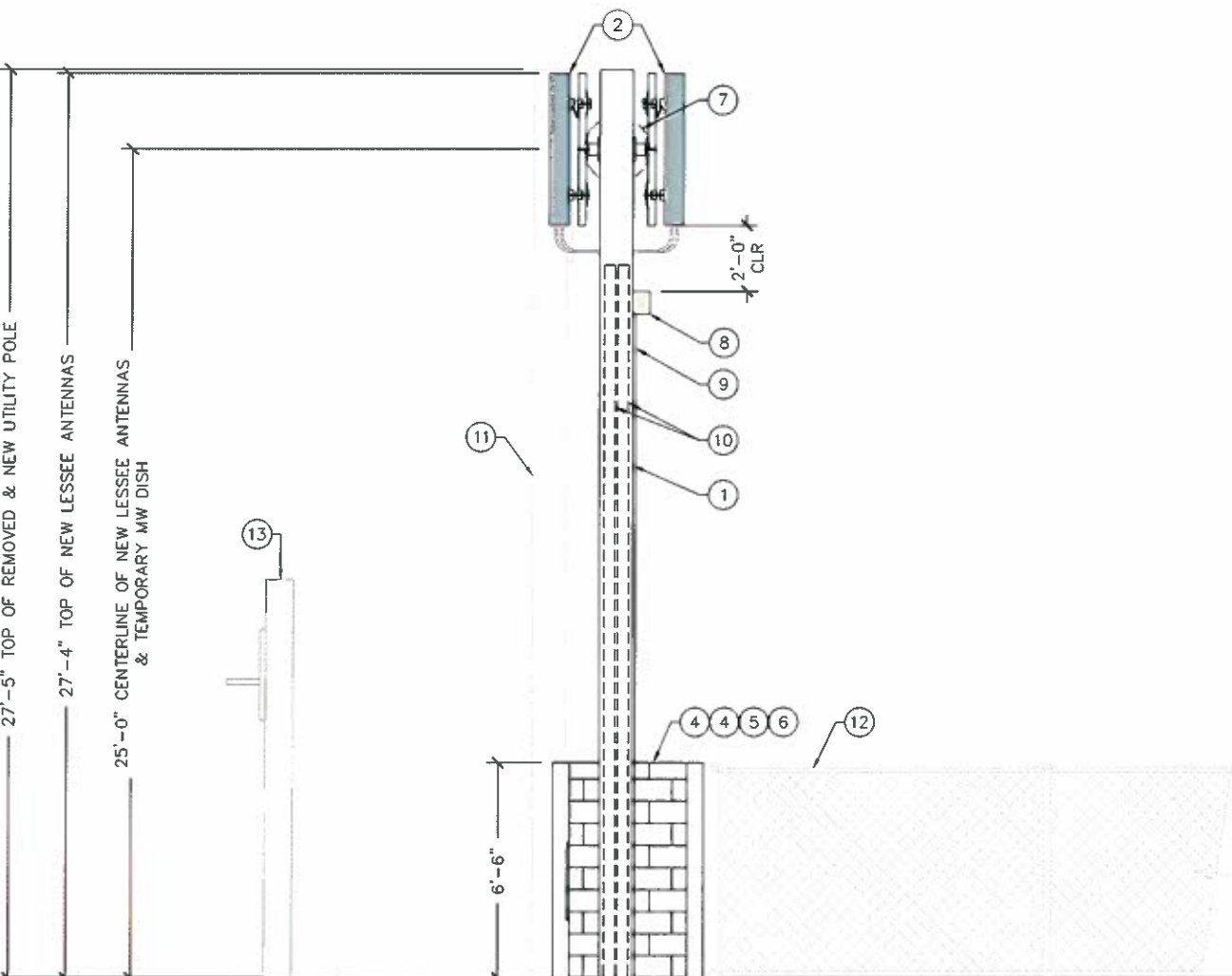
JURISDICTION APPROVAL:

SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**A-2**

ELEVATION KEYED NOTES: #

1. NEW 27.4' TALL REPLACEMENT UTILITY POLE TO MATCH EXISTING POLE, SEE STRUCTURAL DRAWING BY OTHERS
2. NEW (1) ANTENNA PER SECTOR, TOTAL OF (2) SECTORS MOUNTED TO REPLACEMENT POLE @ 25'-0" RAD CENTER
3. NEW LESSEE OWNER PLAQUE ON CABINET
4. NEW EQUIPMENT CABINET (CHARLES CUBE) MOUNTED ON NEW CONCRETE PAD
5. NEW GPS ANTENNA MOUNTED ON NEW CABINET
6. NEW 3-SIDED WALL ENCLOSURE WITH GATES, COLOR TO MATCH EXISTING CHURCH BUILDING
7. TEMPORARY 2' MICROWAVE DISH @ 25'-0" RAD CENTER (AZIMUTH TO BE DETERMINED) (BEYOND)
8. NEW LOCATION OF RELOCATED LIGHT FIXTURE
9. NEW RIGID CONDUIT FOR POWER RUN TO LIGHT FIXTURE
10. NEW PVC CONDUITS FOR COAXIAL CABLE RUNS FROM ANTENNAS TO CABINET
11. EXISTING UTILITY POLE, LIGHT FIXTURE & ITS FOUNDATION TO BE REPLACED AND PROPERLY DISPOSED
12. EXISTING CHAIN LINK FENCE
13. EXISTING BASKETBALL HOOP



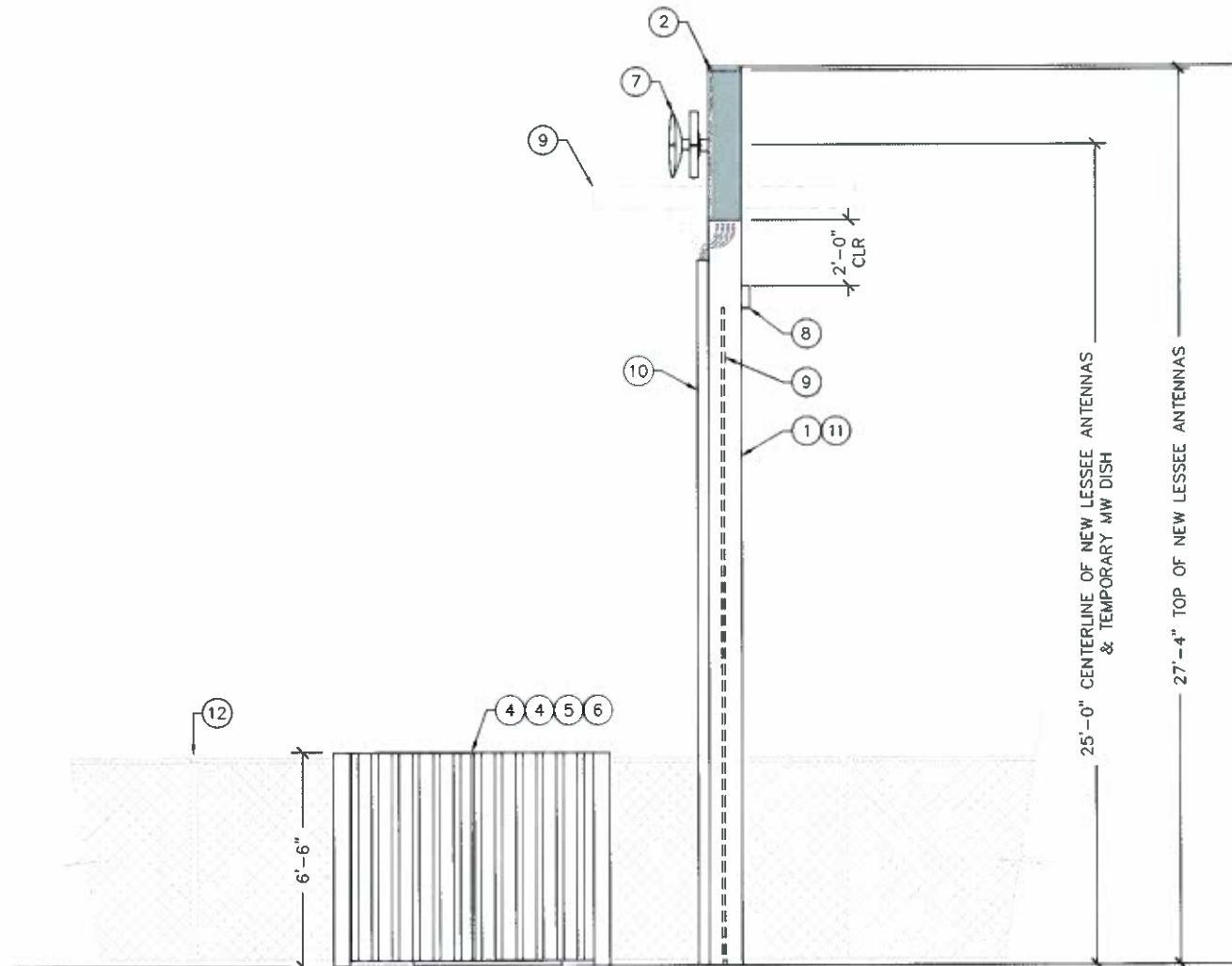
NEW WEST ELEVATION

22"x34" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

1

ELEVATION KEYED NOTES: #

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11. EXISTING UTILITY POLE, LIGHT FIXTURE & ITS FOUNDATION TO BE REPLACED AND PROPERLY DISPOSED
12. EXISTING CHAIN LINK FENCE (BEYOND)



NEW NORTH ELEVATION

22"x34" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

2

CLIENT:

verizon

126 WEST GEMINI DRIVE  
TEMPE, ARIZONA 85293  
PHONE: 480.752.7238

DESIGN MANAGEMENT PROFESSIONAL:

SD SiinoDesign

18747 EAST PARKVIEW AVE., SUITE #1  
FOUNTAIN HILLS, ARIZONA 85268  
PHONE: 480.836.1701  
FAX: 480.836.1004  
WWW.SIINODESIGN.COM

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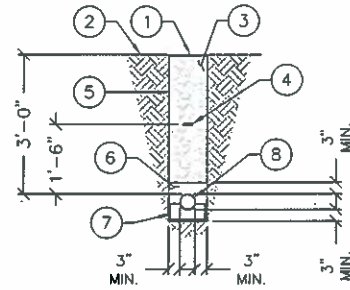
ELEVATIONS

SHEET NUMBER:

A-3

**SINGLE CONDUIT TRENCH KEYED NOTES: #**

1. MATCH EXISTING SURFACE AND MATERIAL
2. FINISHED GRADE
3. BACKFILL MATERIAL AND COMPACTION SHALL BE IN ACCORDANCE WITH THE CITY OF PHOENIX SPECIFICATIONS AND DETAILS
4. DETECTABLE WARNING TAPE 18" ABOVE CONDUIT
5. SHORING, OR SLOPE SIDES PER OSHA REQUIREMENTS
6. BEDDING MATERIAL SHALL CONSIST OF CLASS B PORTLAND CEMENT CONCRETE WHEN REQUIRED
7. PLASTIC CONDUIT SPACERS, INSTALL CONDUIT AS REQUIRED TO MAINTAIN CONDUIT ALIGNMENT. TIE DOWN SPACERS TO PREVENT DISPLACEMENT DURING ENCASEMENT.
8. PVC CONDUIT PER SITE PLAN SPECIFICATION



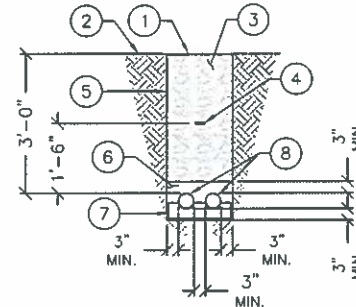
**NOTE:**  
1. THIS DETAIL NOT APPLICABLE TO WATER LINE(S)

**SINGLE CONDUIT TRENCH DETAIL**

N.T.S. 1

**MULTIPLE CONDUITS TRENCH KEYED NOTES: #**

1. MATCH EXISTING SURFACE AND MATERIAL
2. FINISHED GRADE
3. BACKFILL MATERIAL AND COMPACTION SHALL BE IN ACCORDANCE WITH THE CITY OF PHOENIX SPECIFICATIONS AND DETAILS
4. DETECTABLE WARNING TAPE 18" ABOVE CONDUIT
5. SHORING, OR SLOPE SIDES PER OSHA REQUIREMENTS
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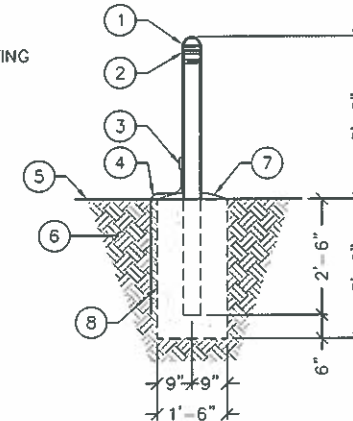
**NOTE:**  
1. THIS DETAIL NOT APPLICABLE TO WATER LINE(S)

**MULTIPLE CONDUITS TRENCH DETAIL**

N.T.S. 3

**BOLLARD KEYED NOTES: #**

1. 4"Ø CONCRETE FILLED SCH40 STEEL BOLLARD
2. PLASTIC BOLLARD COVER; COLOR: YELLOW WITH (2) BLACK STRIPES
3. EXOTHERMIC WELD (TYPE VS) TO STEEL BOLLARD - SLOT CUT FOR COVER
4. #2 AWG SOLID TINNED BARE COPPER CONDUCTOR TO GROUND RING
5. FINISHED GRADE
6. NATURAL SOIL
7. CAP FOR WATERSHED
8. BOLLARD CONCRETE FOOTING



**BOLLARDS TRENCH DETAIL**

N.T.S. 6

CLIENT:



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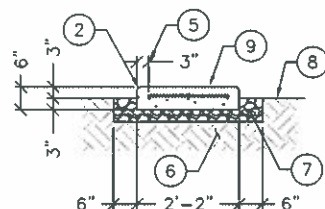
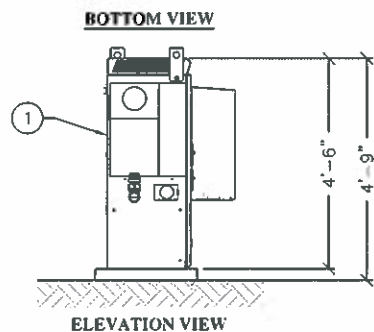
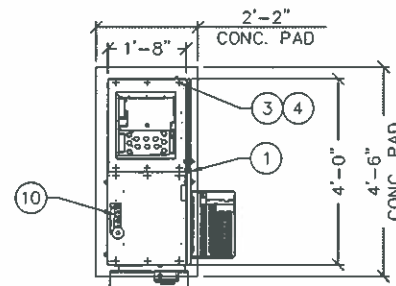
**CONSTRUCTION  
DETAILS**

SHEET NUMBER:

**A-4**

**CABINET CONCRETE SLAB KEYED NOTES: #**

1. OUTLINE OF CABINET.
2. 3/4" CHAMFER EDGE (TYP.)
3. LOCATION OF 3/4"Ø HOLE (TYP.)
4. USE ITW RED HEAD TRUBOLT + WEDGE ANCHOR 1/2" DIA. ANCHOR BOLT W/ 3 1/2" MIN EMBEDMENT (TOTAL 4); VERIFY SIZE W/ MANUFACTURER SPECS.
5. 3" REINFORCEMENT CLEARANCE FROM SLAB PERIMETER
6. NATURAL SOIL
7. 6" THK. MIN. CRUSHED STONE OR COMPACTED GRANULAR FILL
8. FINISHED GRADE LEVEL
9. 6" THK. SLAB W/ #4 @ 12" O.C. EACH WAY; SLAB FINISH 3" ABOVE GRADE
10. CUTOUT IN FLOOR FOR COAXIAL CABLE STUB-UP



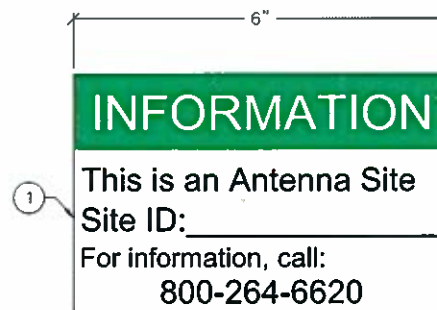
**NOTES:**  
1. VERIFY DIMENSIONS WITH CABINET MANUFACTURER ALONG WITH LOCATION OF BASE FRAME CONNECTIONS. THIS NEW CABINET IS APPROXIMATELY 35 CUBIC-FOOT

**CABINET CONCRETE SLAB DETAIL**

N.T.S. 2

**OWNER SIGN KEYED NOTE: #**

1. 6" WIDE 4" HIGH SIGN WITH BLACK LETTERS ON WHITE BACKGROUND



**NOTE:**  
ALL FACILITY PLAQUES TO BE MOUNTED AT EQUIPMENT CABINET

**OWNER SIGN**

N.T.S. 4

**NOT USED**

N.T.S. 7

**NOT USED**

N.T.S. 10

**NOT USED**

N.T.S. 5

**NOT USED**

N.T.S. 8

**NOT USED**

N.T.S. 11