

CITY OF ELOY

REQUEST FOR PLANNING AND ZONING COMMISSION ACTION

Agenda item: _____
Date: 04/18/2018

Date submitted: 04/04/2018 Date requested: 04/06/2018	Action: <input type="checkbox"/> Resolution <input type="checkbox"/> Ordinance <input checked="" type="checkbox"/> Formal <input type="checkbox"/> Other	Subject: Approval of a Preliminary Plat for Robson Ranch Unit Twenty "B" (20B) subdividing 9.34 acres into 64 residential lots.
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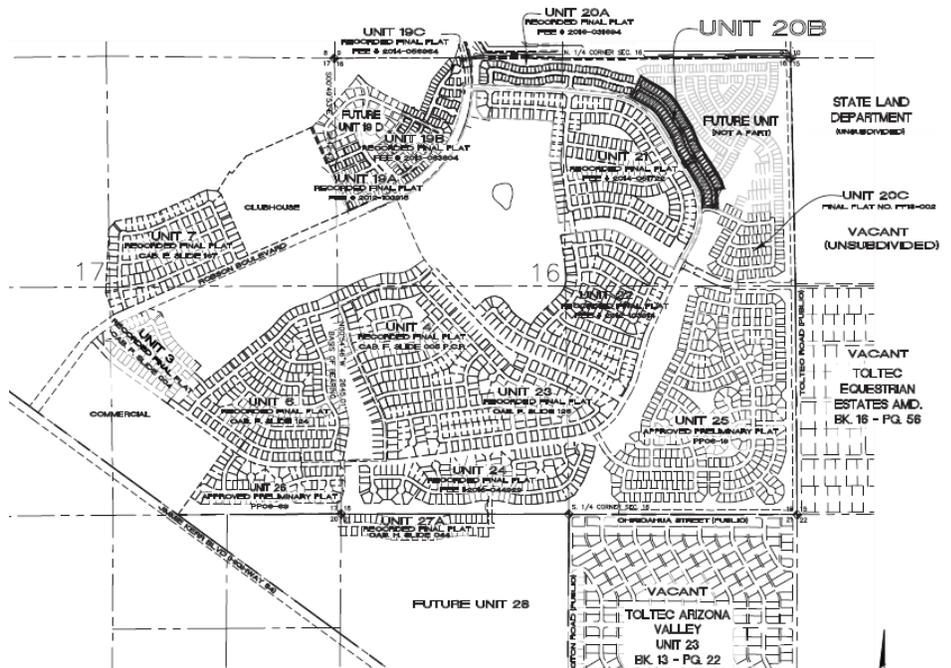
TO: Planning & Zoning Commission

FROM: Jon Vlaming, Community Development Director

RECOMMENDATION:

That the Planning & Zoning Commission recommend approval of the Preliminary Plat for Unit Twenty B ("20B") of Robson Ranch subdividing 9.34 acres into 64 residential lots, subject to the following stipulations:

1. That all development of the property shall comply with the approved pre-annexation and development agreement and any amendments between Sun Lakes-Casa Grande Development, LLC and the City of Eloy; and,



2. That the Drainage Report and the Grading and Drainage Plans be reviewed and approved by the City of Eloy.

DISCUSSION:

This is a request for preliminary plat approval from B & R Engineering, Inc. on behalf of Sun Lakes-Casa Grande Development, LLC proposing a Preliminary Plat for Robson Ranch Unit Twenty "B" (20B), *Case No.: PP18-002*. The subject property is located within the age restricted master planned community of Robson Ranch. Robson Ranch is located on the north side of Highway 84, west of Toltec Road, and east of the Overfield Road alignment. More precisely, this project is located in the northeast quarter of Section 16, Township 7 South, and Range 7 East. The proposed subdivision contains a gross area of 9.34 acres.

The Eloy General Plan Land Use Plan identifies the subject property as Medium Density Residential (3.0-6.0 dwelling units per gross acre). The gross density of this submittal is 6.85 dwelling units per acre, which makes it generally in conformance with the Eloy General Plan. This property is zoned R1-6 (Medium Density Residential) and R-4 (High Density Residential) with a PAD (Planned Area Development) Overlay. The minimum lot size is 3,569 square feet and the average lot size is 3,841 square feet which is less than the R1-6 designation of 6,000 square feet but in excess of the R-4 minimum lot size of 1,815 square feet. Therefore, this request is also in general conformance with the Eloy Zoning Ordinance.

Primary vehicular ingress/egress to this subdivision will be from three access points that intersect with West Cherry Oaks Drive and include Hohokam Way, White Horse Boulevard and Painted Horse Drive. A future all-weather, compacted aggregate base course (ABC) roadway that extends east along Chippewa Drive (in Unit 20C, approximately 1/8 mile to the south) will connect with Toltec Road. A gate will be secured across Chippewa Drive that will allow more proximate emergency access from the Eloy Fire District Station (#522) located at 4015 N. Toltec Road, approximately 1.5 miles to the south. The infrastructure for this subdivision, including the streets, water, sewer and open space tracts, will be privately owned and maintained.

FISCAL IMPACT:

The City of Eloy entered into a pre-annexation and development agreement with the developer that provided construction sales tax rebate incentives, and allowed the developer to provide its own utility services to residents. Since Robson Ranch is an age restricted and gated community, the streets will be privately owned and maintained, as well as all drainage, open space and landscape tracts and community amenities. The City will provide solid waste collection services contracted through Right Away Disposal (RAD) and police protection to the future residents in this community, as well as the entire area of Robson Ranch.